

WAIMAIRI COUNTY COUNCIL

Permit No. 37384
(FOR OFFICE USE ONLY)

Application No. 1388 B1

Riding Papanui

Assessment No. 2152-525

File No. P 11 / 67

APPLICATION FOR A BUILDING PERMIT

TO THE COUNTY ENGINEER,

Date 12 / 12 1978

Sir,

I hereby apply for permission to erect / alter / install a ADD 2 BEDROOMS & WALKWAY TO EXISTING DWELLING
(Dwelling, Garage, Shed, etc.)

at No. 67 TUCKERS Street, in accordance with the SITE PLANS and detailed PLANS, ELEVATIONS AND SPECIFICATIONS submitted herewith in duplicate. (see over)

PARTICULARS OF LAND

Lot No. 1 D.P. 27016 Area 607 m²

PARTICULARS OF BUILDING

Foundations CONCRETE Walls CONCRETE BLOCK Roof IRON Floor PLYCOPINE

Distance from Nearest Building: On Site ATTACHED m On Adjoining Site _____ m

MAIN BUILDING - AREAS (see over)

Ground Floor 52 m² 1st Floor 45 m² Over Foundations 24 m²
(or Basement)

OUTBUILDINGS AREA - Proposed _____ m² Existing 20.8 m²

TOTAL AREA OF ALL BUILDINGS (Existing and Proposed) 96.8 m²

ESTIMATED VALUE OF PROPOSED WORK

Main Buildings \$ 4,600-00

Outbuildings \$ _____

Plumbing & Drainage \$ _____

TOTAL \$ 4,600-00

Estimated Completion Date _____

Owner J. DOWNEY Address 67 TUCKERS RD.

Builder B. F. MCGARRY Address 578 HAREWOOD RD.

Plumber _____ Address _____

Proposed purpose for which every part of the building is to be used or occupied (see over)

BEDROOMS & WALKWAY.

Telephone No. 598-849. Yours faithfully, B. F. McGarry
Owner/Builder

FEES PAYABLE

(FOR OFFICE USE ONLY)

REMARKS

Building Permit \$ 25.00
Inspection Fees \$ _____
Plumbing & Drainage Permit \$ _____
F/P Opening/Crossing Deposit \$ _____
F/P Opening/Crossing Permit \$ _____
Vehicular Entrance \$ _____
Water Connection \$ _____
Builders Water Supply \$ _____
Building Research Levy \$ 5.00
TOTAL FEES PAYABLE \$ 30.00

APPROVED [Signature] (County Engineer)

11 January 1979

APPLYING FOR A BUILDING PERMIT

COMPLETION OF THIS FORM

All details on the form must be completed, in cases where the answer is nil enter 'nil'.

FLOOR AREAS

The area of each floor in buildings of more than single storey must be entered. For site coverage only the area of the ground floor is computed. In accessory buildings the floor areas are for computing permissible floor area.

PROPOSED USE

The proposed use of every building or part of a building must be clearly indicated, e.g. private car garage, private storage shed, ownership flats, leasehold shops etc.

STORMWATER DISPOSAL

An approved method of stormwater disposal must be provided to all buildings and must be fixed before occupation of the building.

NOTE: All stormwater must go to side channel except where otherwise specifically approved.

DETAILS TO BE SUBMITTED WITH EVERY APPLICATION

The following extract from the Building By-Laws sets out briefly the details required with every application. Full details can be gained in N.Z.S. 1900, Chapter 2, Clauses 2.4 and 2.5.

2.5 PLANS AND SPECIFICATIONS

2.5.1. Together with every application there shall be submitted to the Engineer, in duplicate, detailed plans, elevations, cross sections, and specifications, which shall together furnish complete details of design and qualities and descriptions of all materials of construction and workmanship, and which shall be of sufficient clarity to show to the satisfaction of the Engineer the exact nature and character of the proposed undertaking and the provision made for full compliance with the requirements of this by-law and any other relevant by-law for the time being in force:—

(v) Detailed drawings shall be in such form and on such scale as the Engineer may consider necessary to ensure certainty of interpretation.

(vi) All drawings other than detailed drawings shall be accurately, clearly, and indelibly executed to scale, and shall be drawn in ink upon drawing paper or tracing cloth or printed upon cloth or approved paper. Except in the case of detailed drawings all drawings shall be to a scale of 1:100 or 1:50.

2.5.2. The drawings shall be accompanied by a locality plan. This locality plan shall be drawn to scale and shall show the site of the building, together with the land, streets, private streets, public places, private ways, public reserves, and buildings immediately surrounding the site and shall be sufficient to enable the Engineer to locate the precise situation of the site not only relative to the boundaries of its own land, but also relative to any buildings erected upon immediately adjoining lands.

2.5.3. On all drawings deposited under this chapter of this by-law the following methods shall be used to assist in making clear the various parts of the work:—

(i) The site of the proposed building shall be coloured or edged red.

(ii) Existing buildings immediately adjoining shall be coloured grey.

(iii) Sewers and sewer connections shall be shown by red lines.

(iv) Stormwater drains and drain connections shall be shown by green or black lines.

(v) The construction drawings shall be so prepared as to distinguish the various materials employed in the construction of the building, also existing work from new work.

2.5.5. In addition to the structural details etc., required, the plans and sections shall show as regards every floor of the proposed building the dimensions of the rooms the situation of the flues, fireplaces, stoves, and chimneys, and the position of all the several parts of the building, and every water closet, fuel store, wash-house, and all other appurtenances. The plan and section shall further show the proposed means of water supply, and the level of the lowest floor of the intended building and of the yard and ground belonging thereto, and also the means whereby it is proposed to deal with all stormwater and drainage.

2.5.6. When lodged, the application and drawings and other documents accompanying the application shall become the absolute property of the Council.

WAIMAIRI COUNTY COUNCIL

B. 3

1388

BUILDING CHECK SHEET

Application

Application Received:- Date

14-12-78

Initials of Receiving Officer

D

Details Required:2 SITE PLANS - Distance from all boundaries and buildings - street front indicated
Stormwater Disposal System shown.

2 SETS OF WORKING DRAWINGS - Fully detailed and dimensioned.

2 SETS OF ELEVATIONS - showing height and windows (size and openings)

2 CROSS-SECTIONS - Fully detailed and dimensioned, showing all beam fixings etc.

2 SETS OF SPECIFICATIONS - Spacing - Type of Materials etc.

2 PLUMBING AND DRAINAGE FORMS - (Non sewerred areas only) - Drainage layout.

WATER APPLICATION FORM SIGNED BY OWNER.

BUILDING PERMIT APPLICATION FORM FULLY COMPLETEDWhere required:

Written consent of adjoining owner.

Design Certificate or calculations. (Required for all reinforced blockwork and concrete)

Certificate of Registration from Building Projects Registration Authority.

Swimming Pool - Application form to discharge water.

Department	Check List	Remarks	Initials	Date
<u>TOWN</u> <u>PLANNING</u>	Legal Description	Lot 1 DP 27016		
	Zoning	RES A.		
	Street Bo. Issued	N.A.		
	Building Line Restrict.	N.A.	cc	15-12-78
	Conditional Use etc.			
	Parking Requirements			
<u>HEALTH</u> <u>INSPECTORS</u>	General Requirements			
	Stormwater etc.	D/Slips Attached	R	4/1/79
	Food Premises			
	Apartment House			
<u>RATES</u>	Owner			
	Assessment No. entered	5/1/79		
<u>CHRISTCHURCH</u> <u>DRAINAGE</u> <u>BOARD</u>	Sewage Disposal			
	P129	COB 4/93/77	MS	22/12/79
<u>WATERWORKS</u> <u>INSPECTOR</u>	Water Connection		GL	
				28-12-78

See Reverse Side for Remainder of Checks.

Department	Check List	Remarks	Initials	Date
<u>DANGEROUS</u>	Dangerous Goods			
<u>GOODS AND</u>	Signs			
<u>BY-LAWS</u>	Projections over St. etc.			
	Hoardings			
<u>STRUCTURAL</u>	Design Certificate			
<u>CHECK</u>	Calculations			
<u>SPECIAL</u>	County Engineer			
<u>APPROVALS</u>	T.P. Sub-Committee			
	Council			
	Resiting			
<u>FIRE AND</u>	Occupancy Class.			
<u>EGRESS</u>	Fire Zone			
<u>INDUSTRIAL</u>	Type of Construct.			
<u>COMMERCIAL</u>	Fire Resist. Rating			
<u>PUBLIC</u>	Egress & Exit Signs			
<u>BUILDINGS</u>	Fire Stops			
	Alarm/Emer. Lights			
	Fire Fighting Equip. (checked by Met. Fire Brigade)			
<u>BUILDING</u>	Siting and Height	Heating		
	Coverage	Stud Height		
<u>INSPECTORS</u>	Construction:-	Room Sizes		
	Foundations:-	Light and ventilation		
	Floor	F.R.R. (Residential)		
	Framing	Vehicular Access		
	Roof	Veh. Acc. Cnr Site		
	Veneer	Section Levels		
	Insulation - Floor			
	Walls			
	Ceiling			
	Fill			
	Building Regulations Certificate (date:)			

2nd Check Siting - all checks completed.

Signed

(Checking Officer)

Date:

WCC 1388

4/93/47

FOR - J. DOWNEY.

AT - 67 TUCKERS RD.

LOT 1 D.P. 27016.

ERECT 2 BEDROOMS.

It would appear from a site inspection that the sanitary sewer will be outside the building extension line, care is to be taken in this area while digging foundations. If the sewer is under the building line it must be diverted outside this line.

All plumbing & drainlaying to comply with D&P Reg 1978 & CDD By-laws.

CHRISTCHURCH	
PLAN No	PAP 129
LETTER REF.	
J.H.S.	
INSP.	M. Brown
DATE	22/12/78.
DRAINAGE BOARD	

WAIMAIRI COUNTY COUNCIL

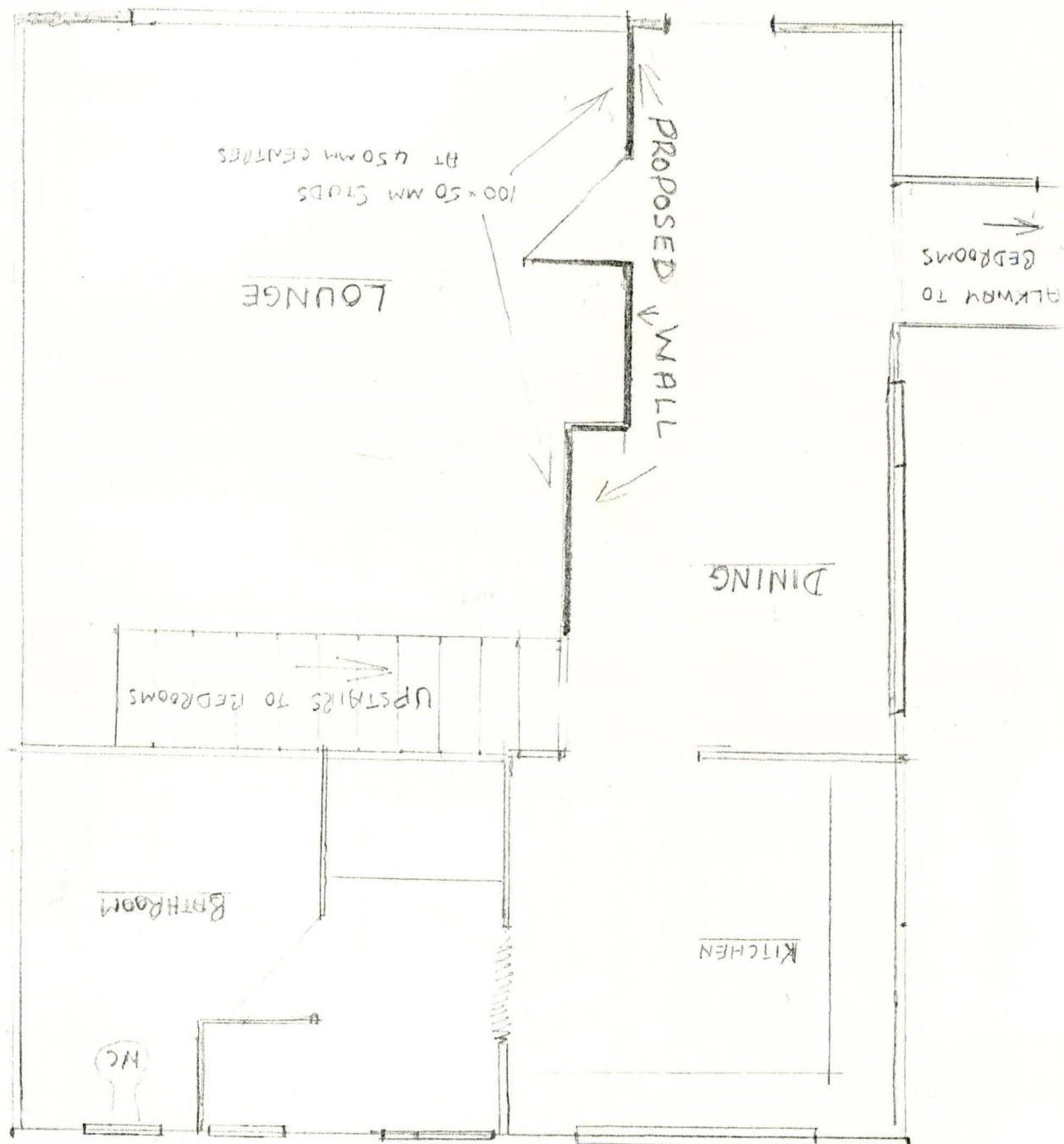
MANDATORY STORMWATER DRAINAGE REQUIREMENTS

All stormwater from dwellings, garages, sheds etc in excess of $9.29m^2$ must be piped to a sidechannel, stream or stormwater sewer via 100mm earthenware drains laid to the front of the section by a registered drainlayer. Drainpipes entering the side channel shall be placed to ensure a minimum of 38mm above the top of the pipe and there must be a minimum of 457mm of kerb between any two such drains, clear of any possible vehicular crossing site. A permit must be obtained from the Council before laying drains across an existing footpath.

If it is not possible or practicable to discharge stormwater as required by the above, or for the use of drainpipes other than earthenware, the written approval of the Chief Health Inspector must be obtained.

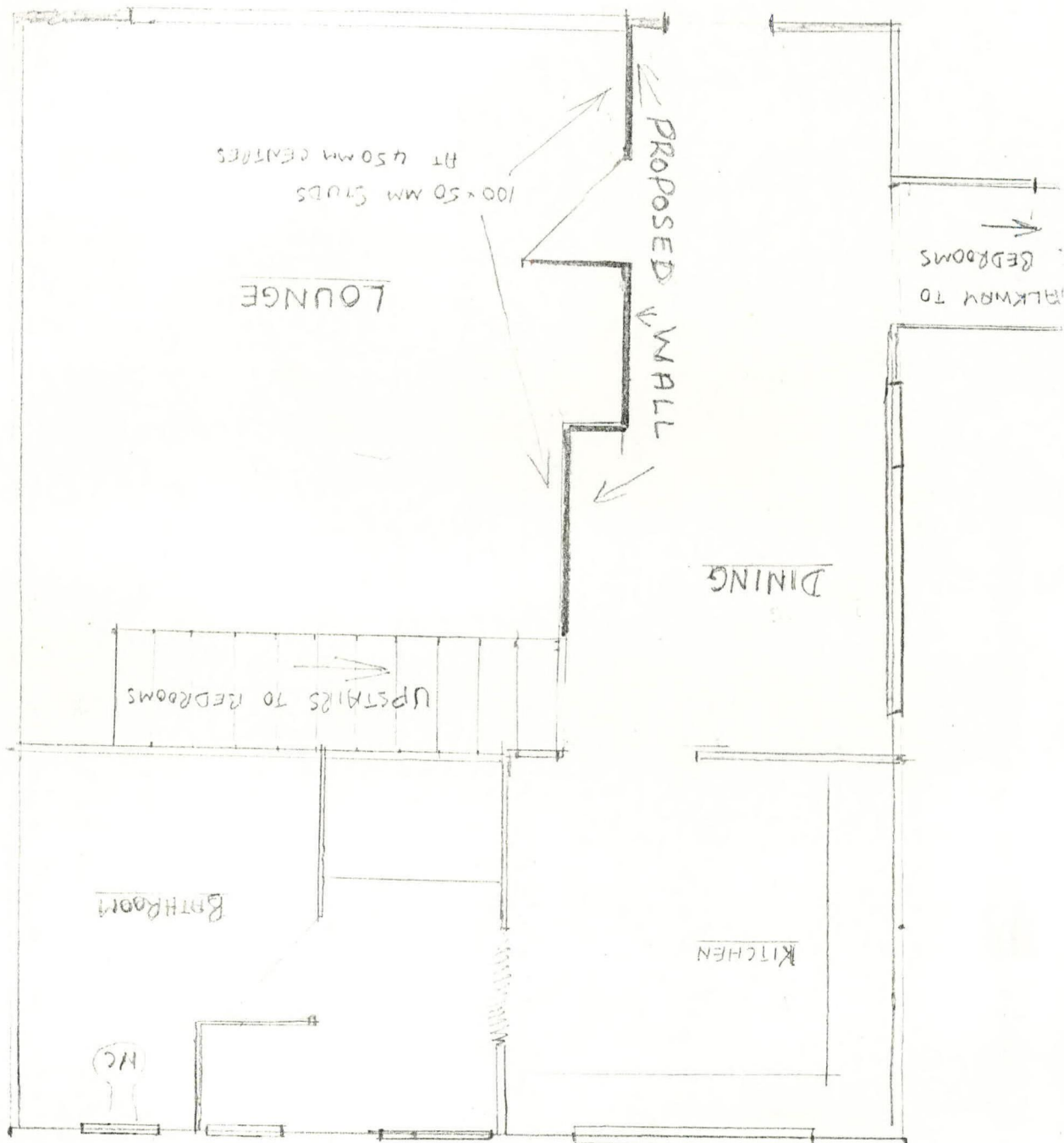
No building is to take place over any stormwater or sewerage drainage system and no drains are to be laid under buildings unless special permission has been obtained. No persons shall conduct the stormwater from two or more buildings to a common stormwater drain until permission is obtained in writing of the Waimairi County Council by the owners of each building.

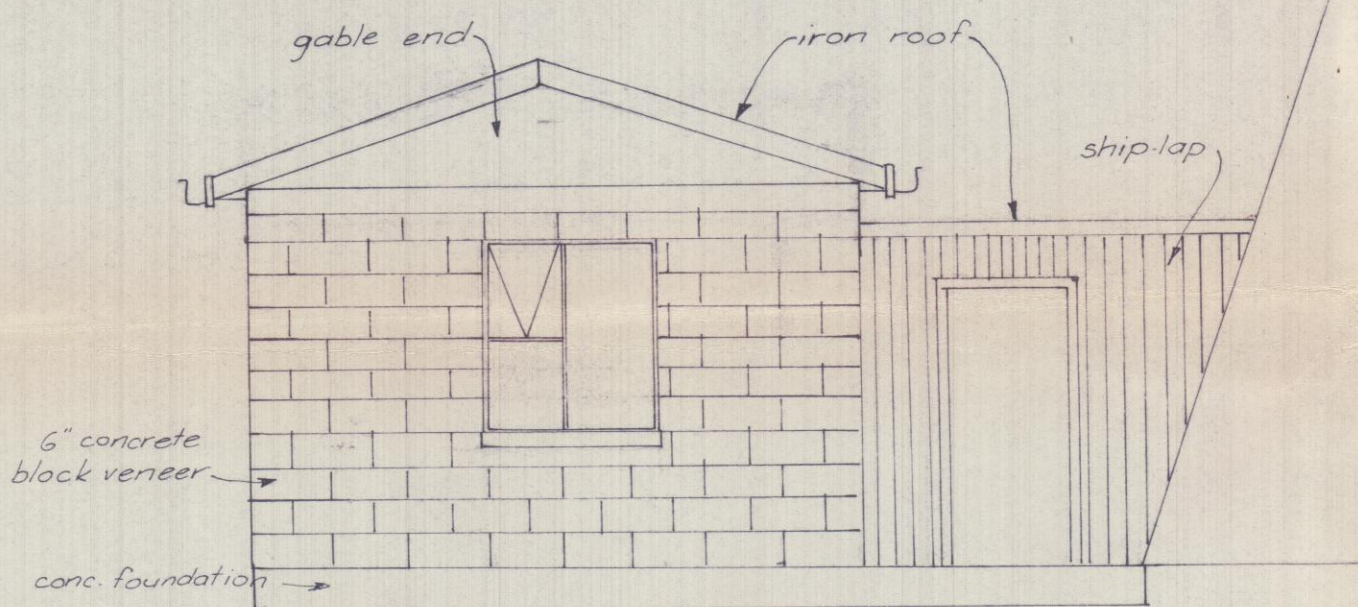
When positioning downpipes and laying drains from the dwellings, provision should be made for a stormwater connection from a future garage. Where no sidechannel exists a suitably located and approved boulder pit or field tile system must be provided as an interim disposal method.



LIVING
STUD 2420MM GIBBONARD E.J DOWNNEY OWNER-BUILDER
PROPOSED NEW WALL AT 67 TUCKERS RD CH CH 5

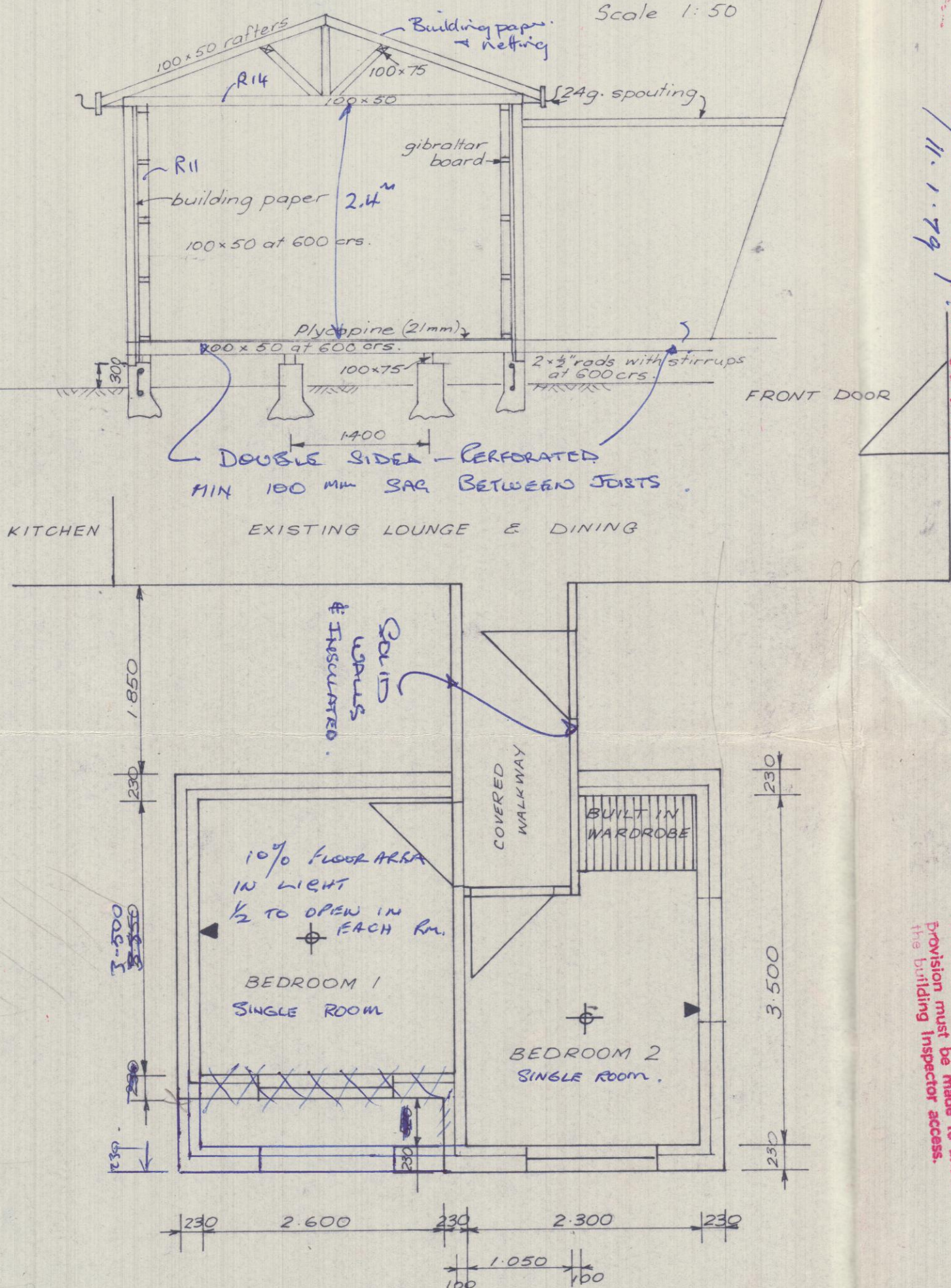
PROPOSED NEW WALL AT 67 TUCKERS RD CH CH 5
STUD 2420MM GIBBOARD E.J DOWNNEY OWNER-BUILDER
LIVING





SOUTH ELEVATION.

Scale 1:50



PLAN

Scale: 1:50

Notes:

- 1) A-Frame (existing) is constructed on concrete piles. Proposed addition to have standard 9" wide concrete foundation with 2x1/2" rods with stirrups at 600 centres.
- 2) 100x50 framing
- 3) Particle board flooring
- 4) Fully insulated walls & ceiling & under floor.

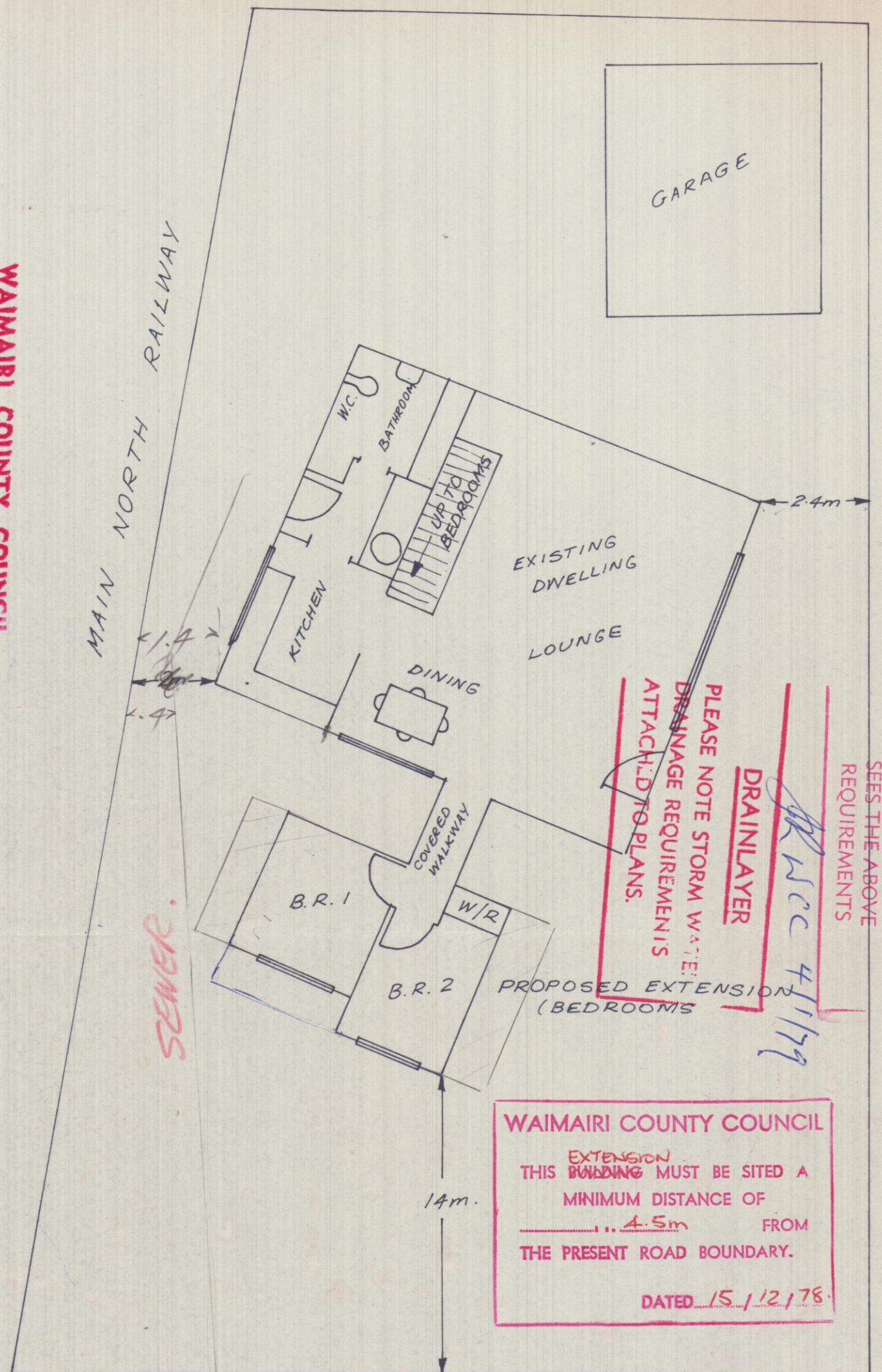
WAIMAIRI COUNTY COUNCIL

APPROVED, Subject to:—

1. All work to comply with the County Building By-Laws (N.Z. Standard Code of Building By-Laws).
2. 24 hours' notice to be given to the County Building Inspector prior to pouring any concrete.

[Signature]
11.1.79
Building Inspector

WAIMAIRI COUNTY COUNCIL
24 HOURS' NOTICE MUST BE GIVEN
Prior to pouring ANY concrete
Prior to laying ANY floor
Prior to fixing ANY wall or ceiling lining.
On completion of the Building
Provision must be made to allow
the Building Inspector access.



SITE PLAN.

WAIMAIRI COUNTY COUNCIL
EXTENSION
THIS BUILDING MUST BE SITED A
MINIMUM DISTANCE OF
4.5m FROM
THE PRESENT ROAD BOUNDARY.
DATED 15.12.78

**PROPOSED ADDITION TO A-FRAME DWELLING
AT 67 TUCKERS RD (LOT 1 D.P. 27106)**

FOR MR. J. DOWNEY

**BUILDER: B.F. MCGARRY
578 HAREWOOD RD. PHONE: 598-849**